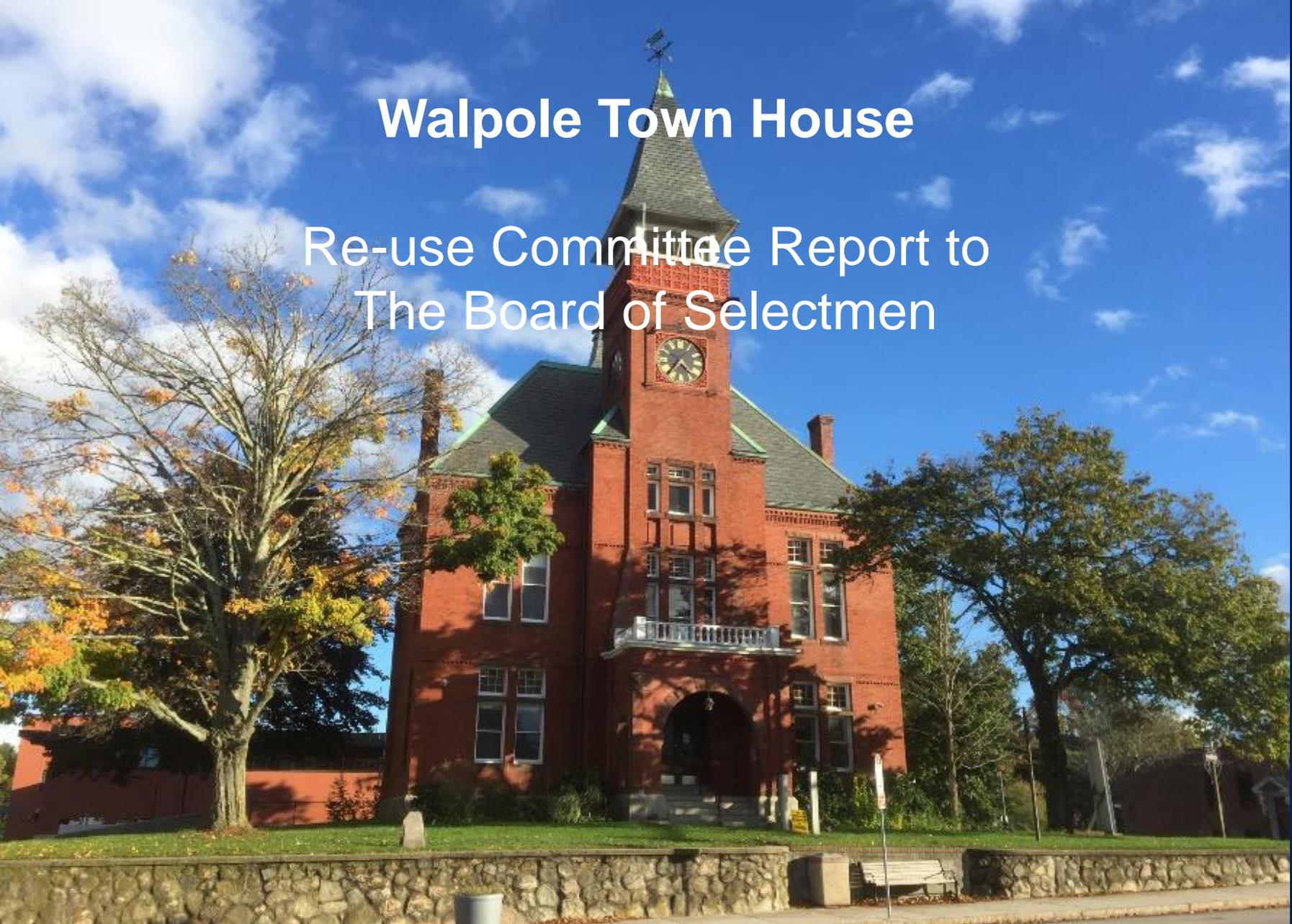


Walpole Town House

Re-use Committee Report to
The Board of Selectmen



“They Danced till 4:30”



➤ The Mission

As voted by the Board of Selectmen on November 6, 2016, the mission of the Old Town Hall Re-Use Committee was,

"To review the Town's options for the current Police Station once the Walpole Police Department moves their operations over to the new building on South Street and to provide the Board of Selectmen with a recommendation as to what the Town should do with this building once it is vacant."



➤ Committee's Objectives

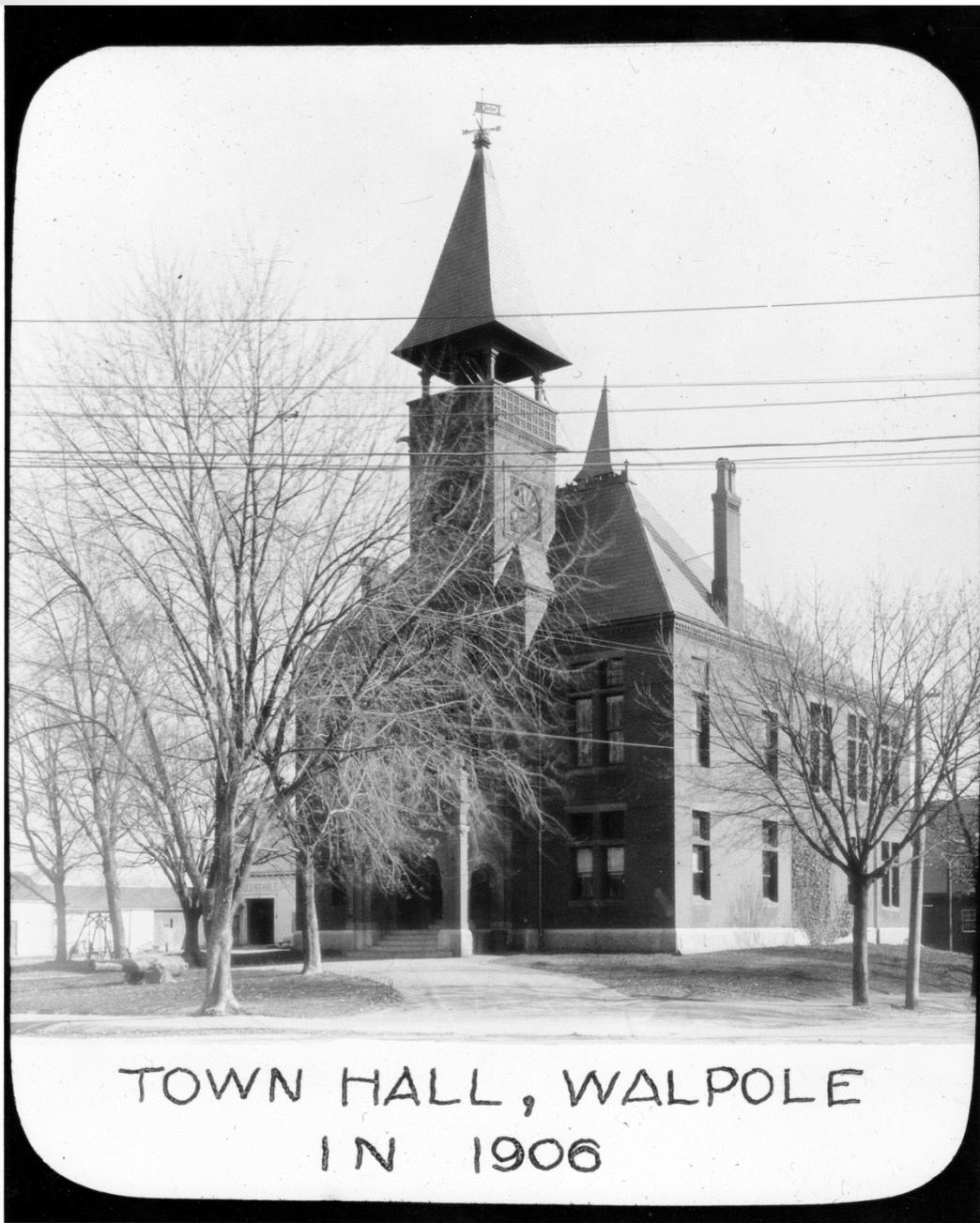
- Downtowns historically have been the center of community life. Typically, downtowns include landmark buildings of various types, but primarily those that are community oriented, and which tend to be focal points prominently positioned along the streetscape. In Old Town Hall, Walpole has such an edifice and thus should be used to its advantage.
- A National Register building, the **Walpole Town House**, the building's original name and the one the Committee strongly urges it being re-branded, is Walpole's most prominent landmark. Given its strategic location, architectural significance, and cultural heritage, this historic structure should serve as the catalyst for the redevelopment of Walpole's downtown which currently falls far short of how town centers should function.



The Committee's ultimate objective was to arrive at a conclusion that,

- ***Brings the greatest value to the Town of Walpole, socially and economically,***
- ***And doing so in the most responsible, feasible and creative way possible.***





TOWN HALL, WALPOLE
IN 1906

Date: 1880/1881

Architect:

John Williams Beal

Builder:

**Joseph W. Coburn of
Walpole**

Dedicated on

September 25, 1881

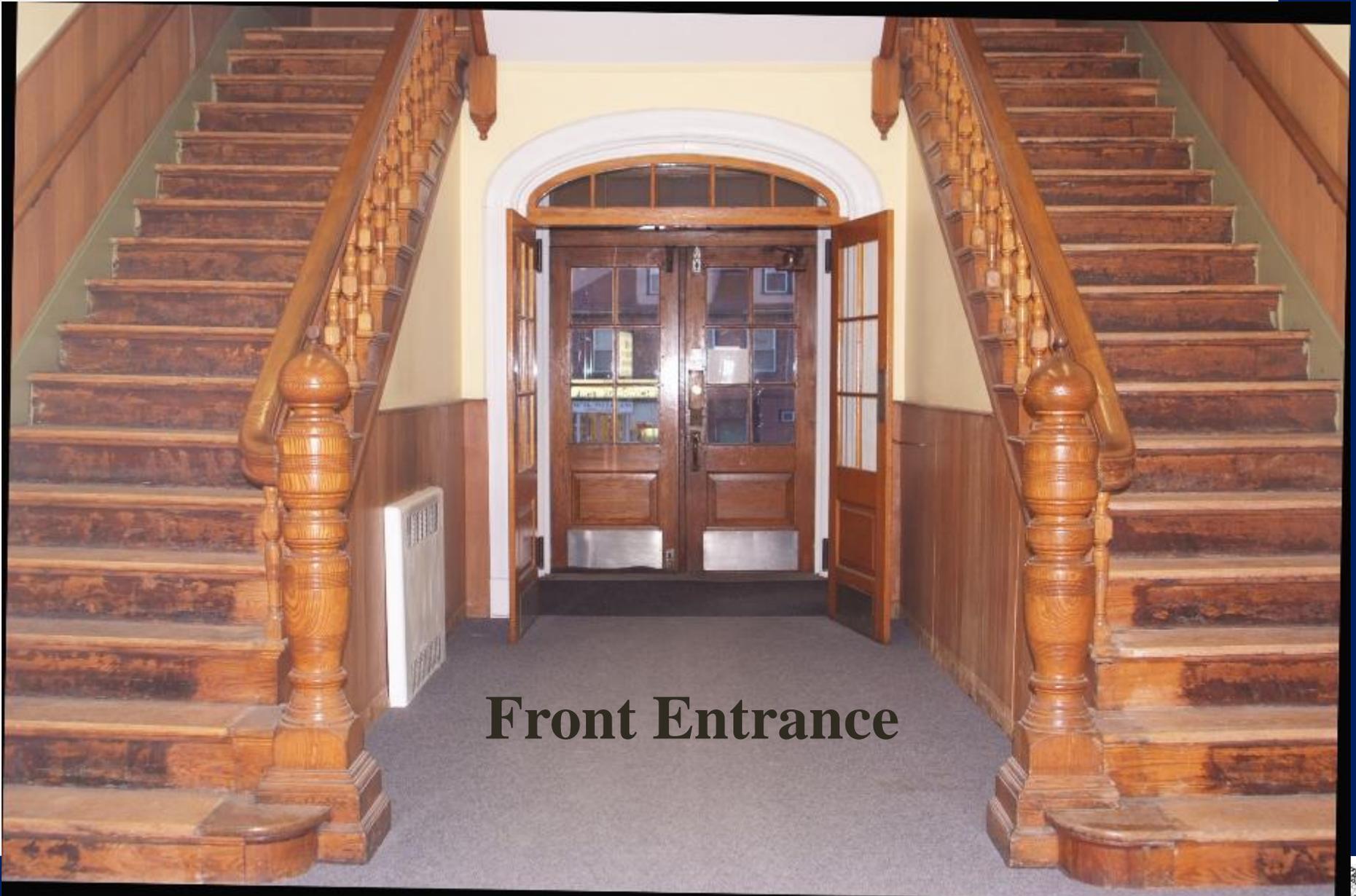
**Total Cost to build
and furnish -**

\$27,365.58



- The Old Walpole Town Hall is an example of a two-story brick **Queen Anne Revival Municipal Building**,
- **Constructed in 1880-1881**. The land was originally acquired from E.D. Clapp for **\$1,800.00**.
- Designed by **John Williams Beal** and constructed by Walpole builder **Joseph W. Coburn**.
- **Total cost** to build and furnish the structure was **\$27,365.58**.
- The **clock and bell in the tower** were purchased from the historic Howard Clock Co. of Boston for **\$874.00**.
- **Dedicated on September 25, 1881**, the townspeople **danced** in the grand hall until **4:30 AM**.

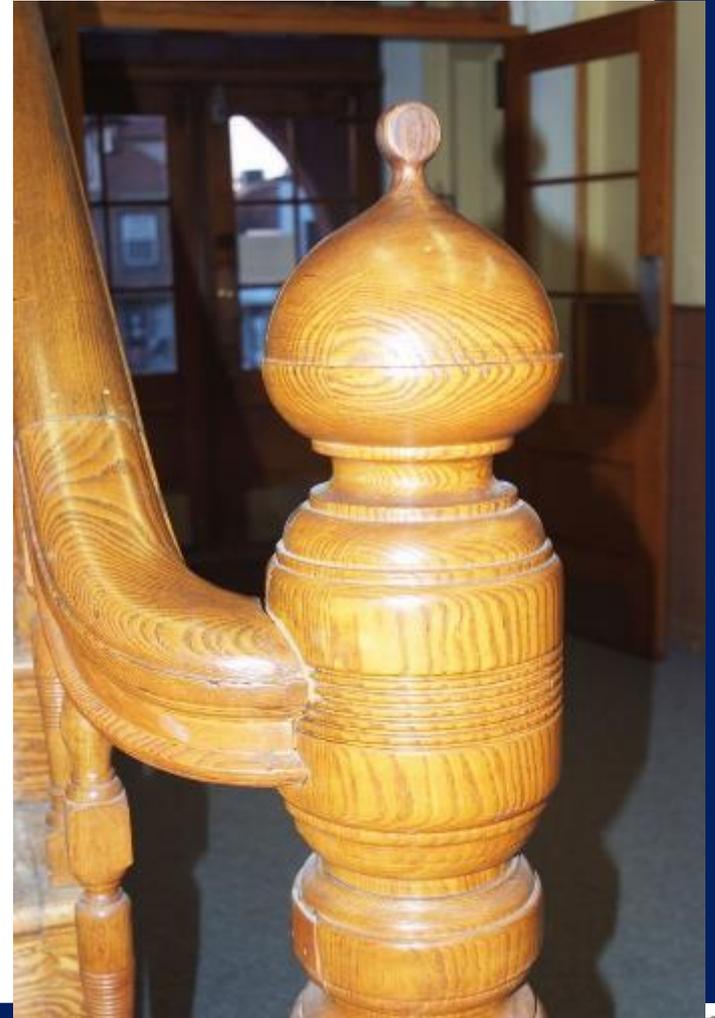




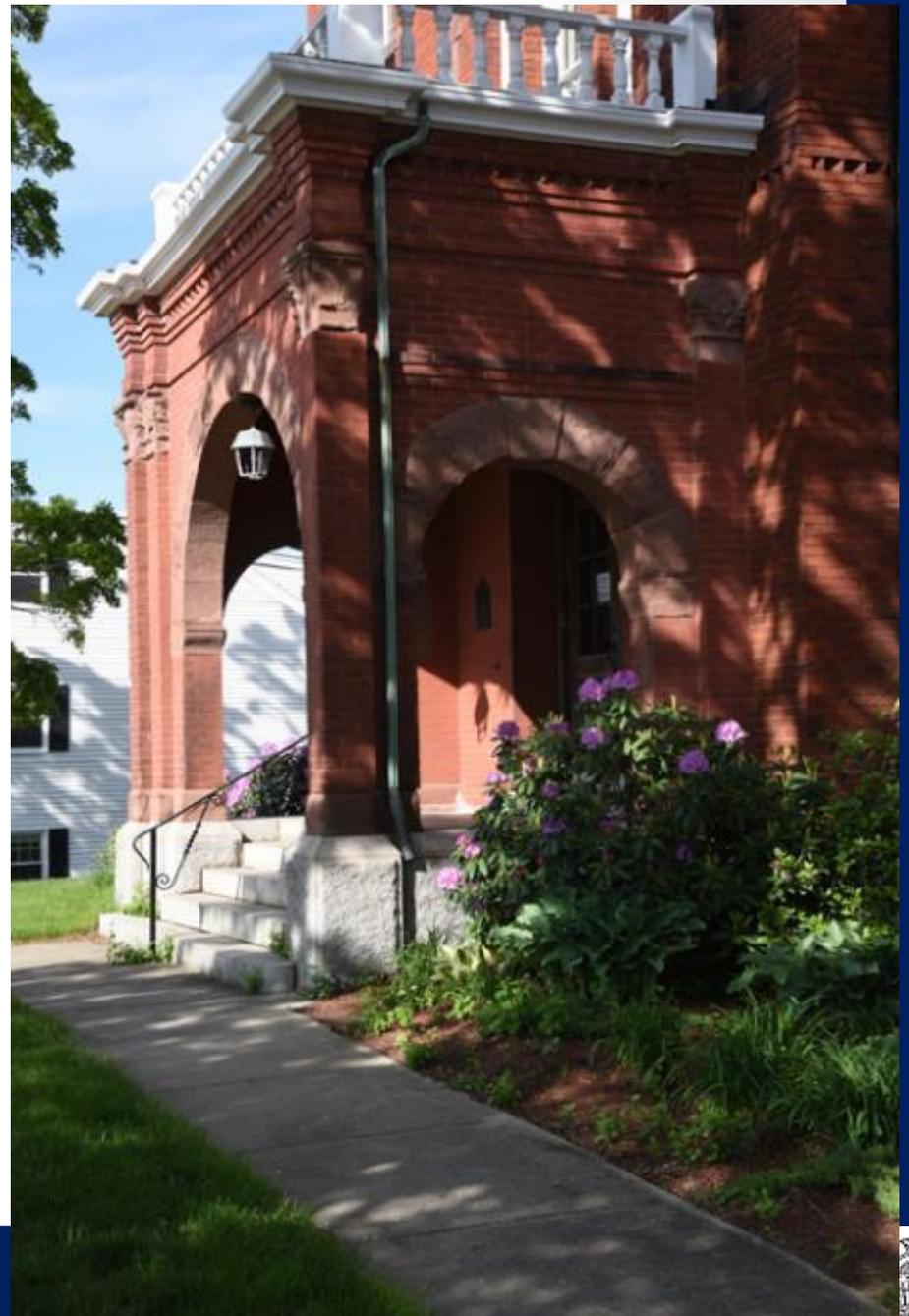
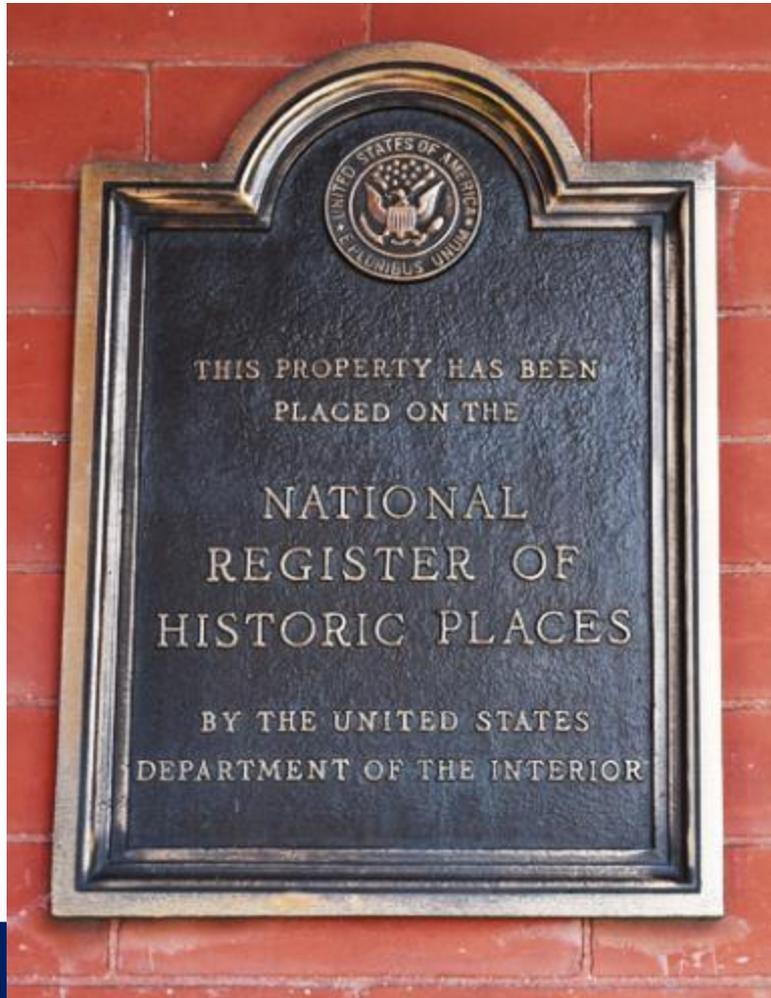
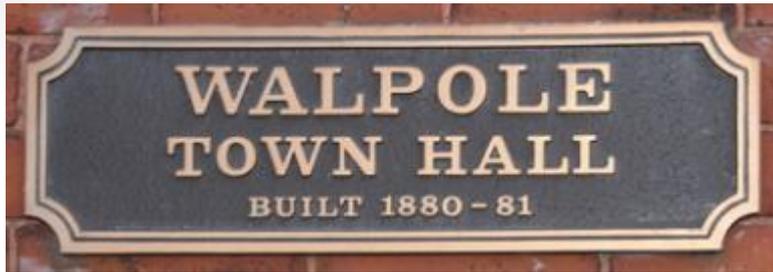
Front Entrance



Stairway to second floor



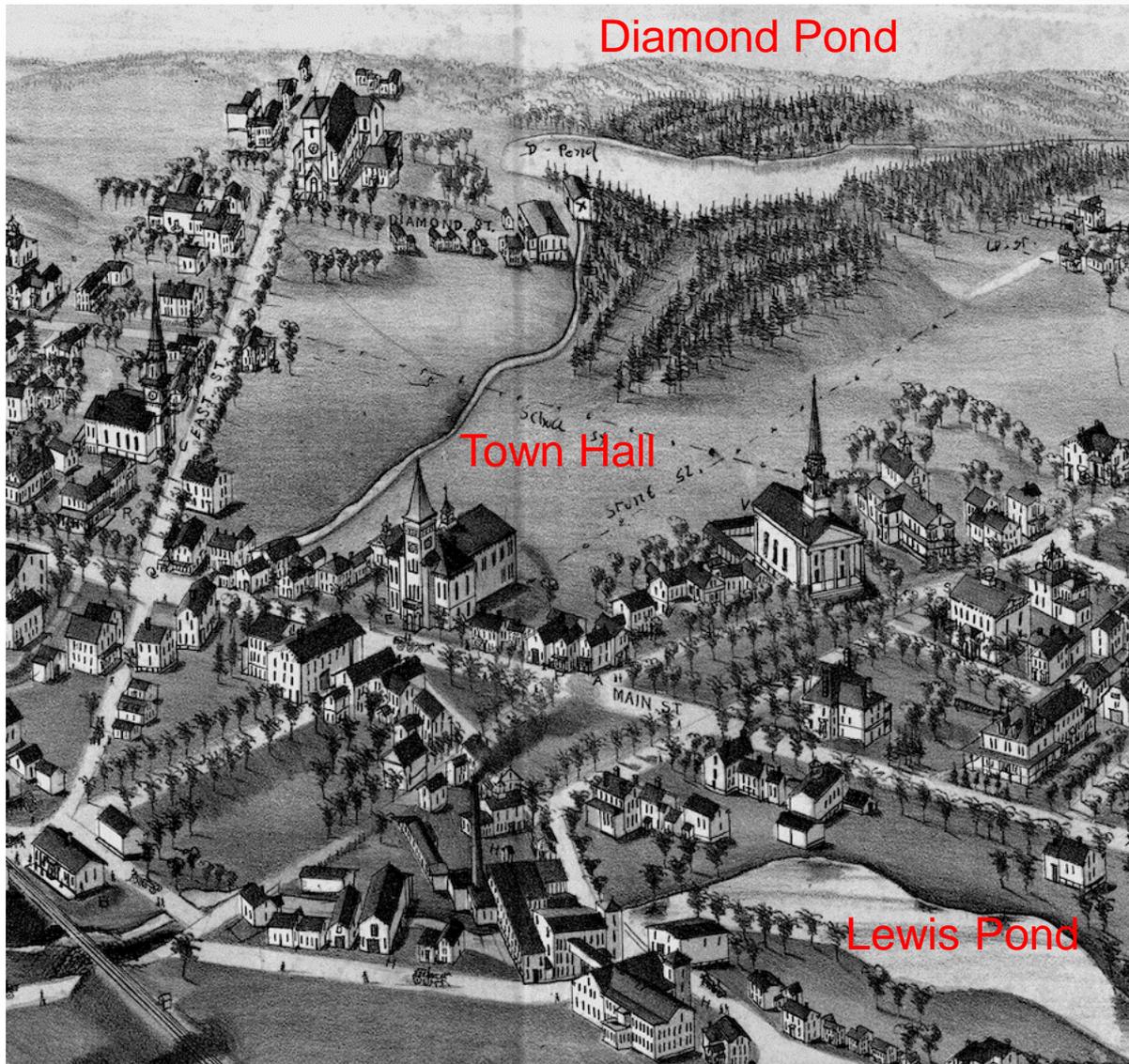






Time Capsule and 1740 Mile Marker





1882 Partial Birdseye View. "Walpole, Massachusetts." O.H. Bailey & Co.



Presentation Agenda

1. Introduction
 - a. Purpose
 - b. Assessment Team

2. Essential Repairs + Upgrades
 - a. Essential Repairs: Exterior + Structural
 - b. Interior Selective Demo for Upgrades + Marketing
 - c. Probable Cost

3. Reuse and Preservation
 - a. Assessment - Other Influences on Design
 - b. Existing Historic Fabric + Preservation Approach
 - c. Scheme 1
 - d. Scheme 2

4. Closing



a. Purpose

This report was prepared for the Town of Walpole as an aid to the Town and the Walpole Old Town Hall Reuse Committee (OTHRC).

1. The task of this study was to survey, assess, recommend and assign probable costs for necessary repairs and upgrades to the building exterior and reuse of the Old Town Hall.
2. Provide 2 schemes for the reuse of the Old Town Hall (OTH) based on the direction given by the OTHRC.
3. The goal of this study was to provide information that would allow the Town and OTHRC to make better-informed decisions for future work and/or development of the property.

b. Assessment Team



Essential Repairs: Overview

1. Selective repairs to the exterior.
2. Essential repairs to the interior includes extending and replacing railings, fire stopping and adding temporary lighting for life safety concerns.
3. Structural improvements.
 1. Selective demolition of the interior non-historic materials to gain access for repairs and open up the 2nd floor Hall.



Essential Repairs: Exterior

Selective repairs to the roof, gutter, masonry, windows, trim and finishes in order to seal the interior from the weather and to halt further deterioration.



Broken/failed slates



Clogged and damaged gutter and valley flashing



Essential Repairs: Exterior



Roof leak, failing plaster +
damaged finishes



Rotting Belfry trim
and ceiling

Essential Repairs: Exterior



Spalling brownstone sill



Failing Mortar Joints



Essential Repairs: Structural Upgrades

Structural improvements required by code will be triggered by the change in use from business to an assembly use by over 300 persons.

1. Seismic (Earthquake/ground motion) improvements to the roof and 1st floor brick walls.
1. Reinforcing the brick tower steel frame for lateral (Wind/Water/Seismic) loads.
1. Strengthening beams and posts under the 2nd floor Hall.
1. Foundation wall underpinning improvements and reinstalling the removed balcony brackets



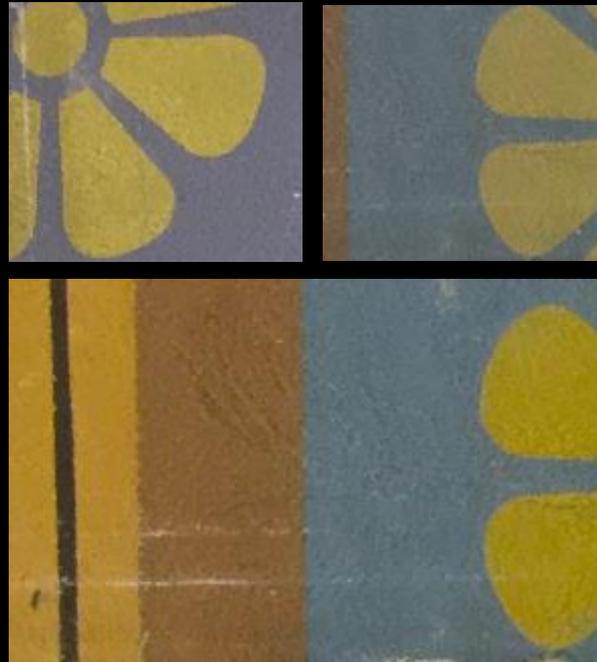
Essential Repairs: Summary

1. Selective repairs to the exterior: Probable cost is \$530,973.
2. Essential repairs to the interior: Probable cost is \$34,574.
3. Structural improvements: Probable cost is \$442,934.
4. Selective demolition of the interior: Probable cost is \$69,181.

The probable cost for all of the work from 1 to 4 above work is \$1,077,662.



Reuse and Preservation



Remaining Historic Hall Stenciling



Assessment - Other Influences on Design

1. **Civil:** Surveyed site plan needed.
2. **Mechanical**
 - a. **HVAC:** "We see no scenario that would incorporate any of the existing air conditioning equipment."
3. **Electrical:** The interior systems will not be useable for any future use of the building.
4. **Fire Suppression System: None**
5. **Hazardous Materials: Removal of hazardous materials is required before and demolition and/or renovation work begins.**
6. **Accessibility**



Accessibility

Accessibility improvements will be required when work on the building exceeds certain dollar values based on the full and fair cash value (FFCV=\$450,100) of OTH (land value is excluded).

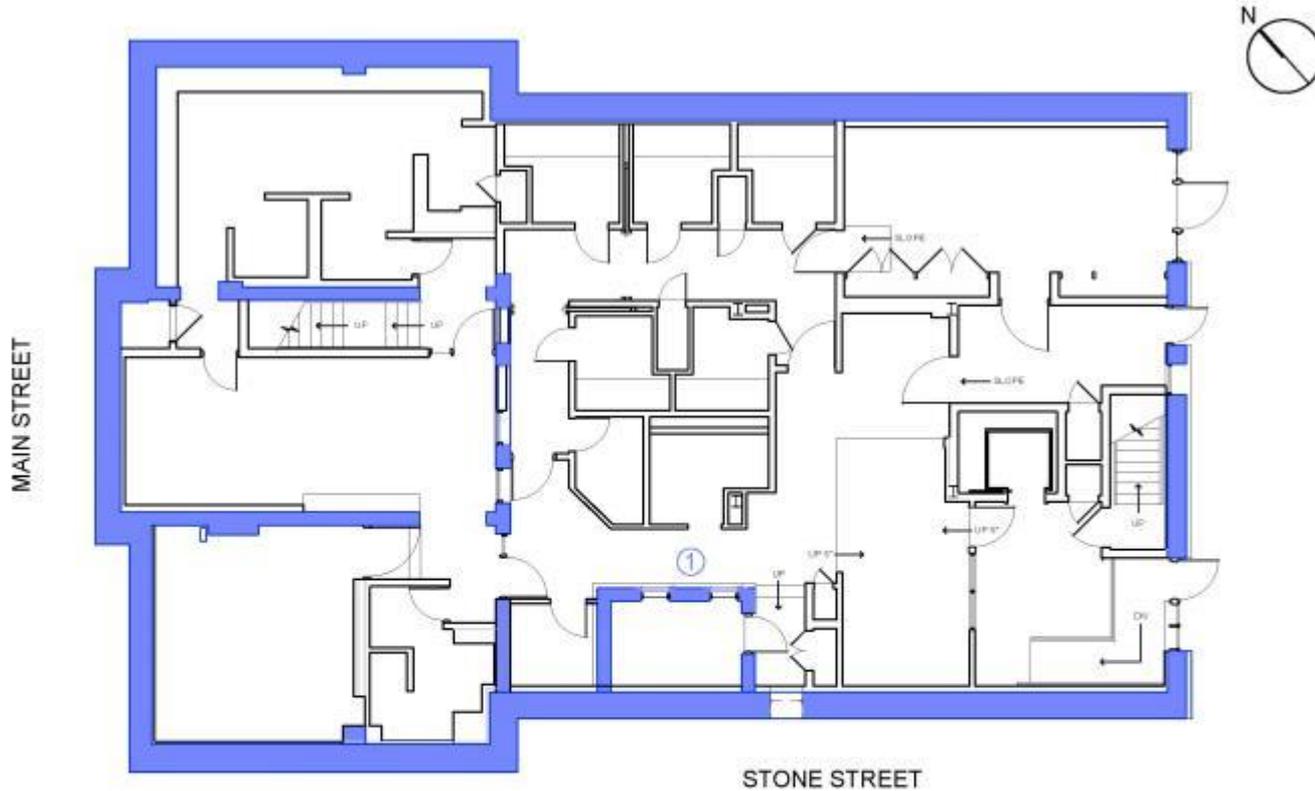
- Work performed < 30% (\$135,030) FFCV + < \$100,000 then work performed must comply.
- If work > \$100,000 then work must comply + an accessible public entrance shall be provided, accessible toilets and drinking fountain (if provided/required).

Exception: Cost > \$500,000, does not involve the alteration of any elements or spaces required to be accessible and limited solely to - General maintenance; abatement of hazardous materials; roof repair/replacement; window repair or replacement; repointing and masonry repair work; electrical mechanical, or plumbing systems.

- If work performed, including exempted work, \geq 30% (\$135,030) FFCV of the OTH (\$450,100) the entire building is required to comply with 521 CMR.



Existing Historic Fabric: Ground Floor



1ST JAIL CELLS

LEGEND

SYMBOL DESCRIPTION

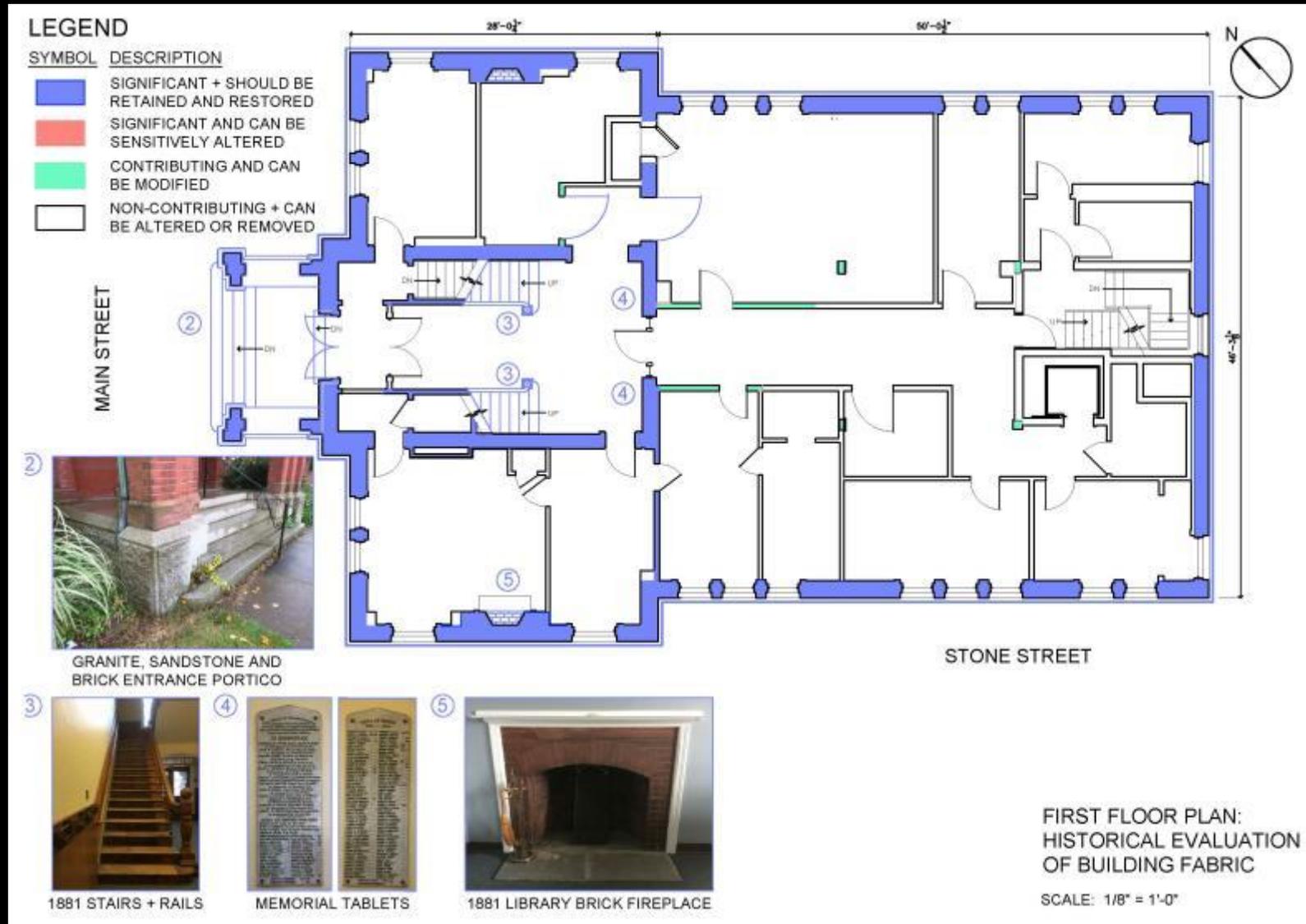
- SIGNIFICANT + SHOULD BE RETAINED AND RESTORED
- SIGNIFICANT AND CAN BE SENSITIVELY ALTERED
- CONTRIBUTING AND CAN BE MODIFIED
- NON-CONTRIBUTING + CAN BE ALTERED OR REMOVED

GROUND FLOOR PLAN:
HISTORICAL EVALUATION
OF BUILDING FABRIC

SCALE: 1/8" = 1'-0"



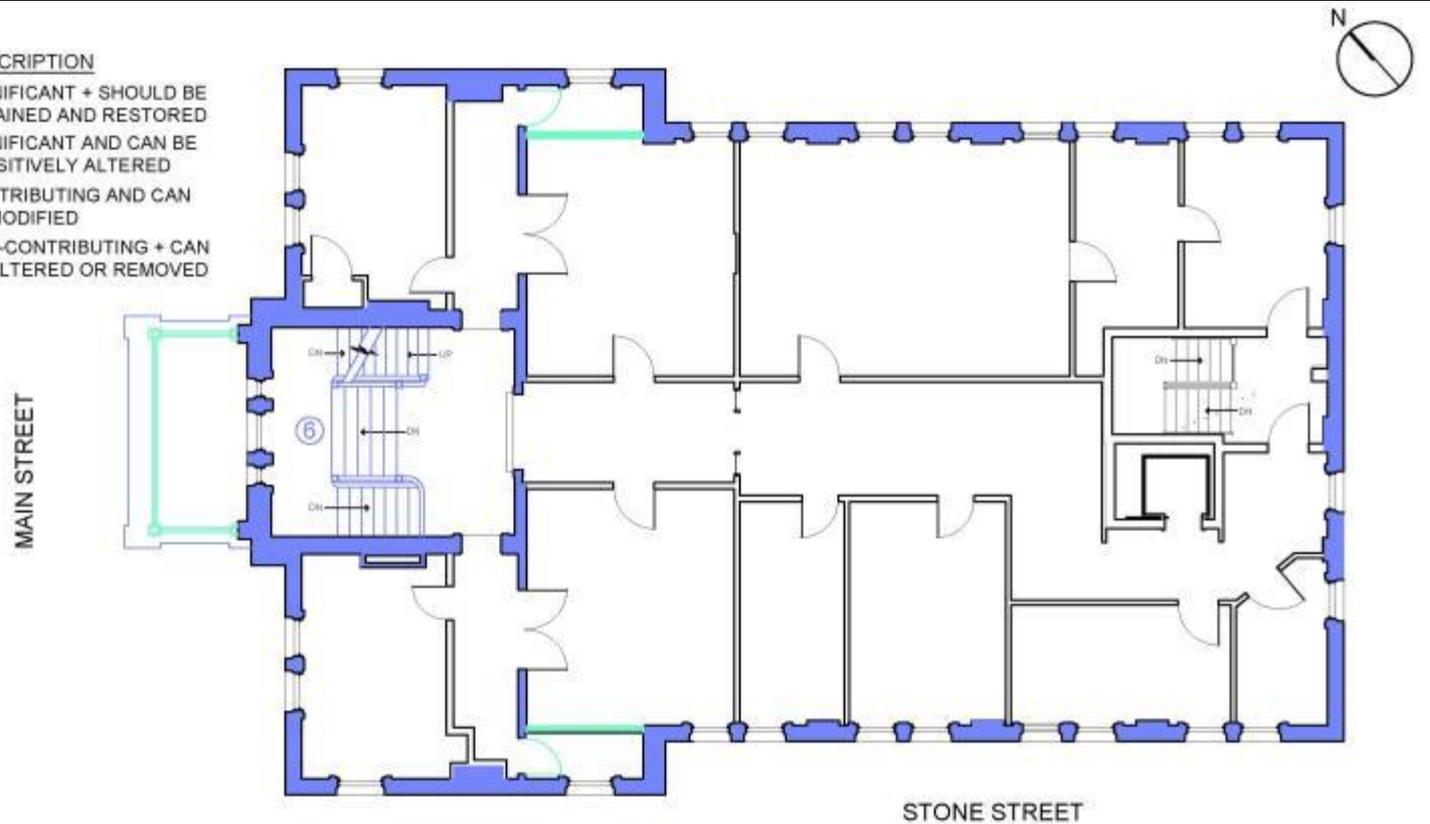
Existing Historic Fabric: First Floor



Existing Historic Fabric: Second Floor

LEGEND

SYMBOL	DESCRIPTION
	SIGNIFICANT + SHOULD BE RETAINED AND RESTORED
	SIGNIFICANT AND CAN BE SENSITIVELY ALTERED
	CONTRIBUTING AND CAN BE MODIFIED
	NON-CONTRIBUTING + CAN BE ALTERED OR REMOVED



6



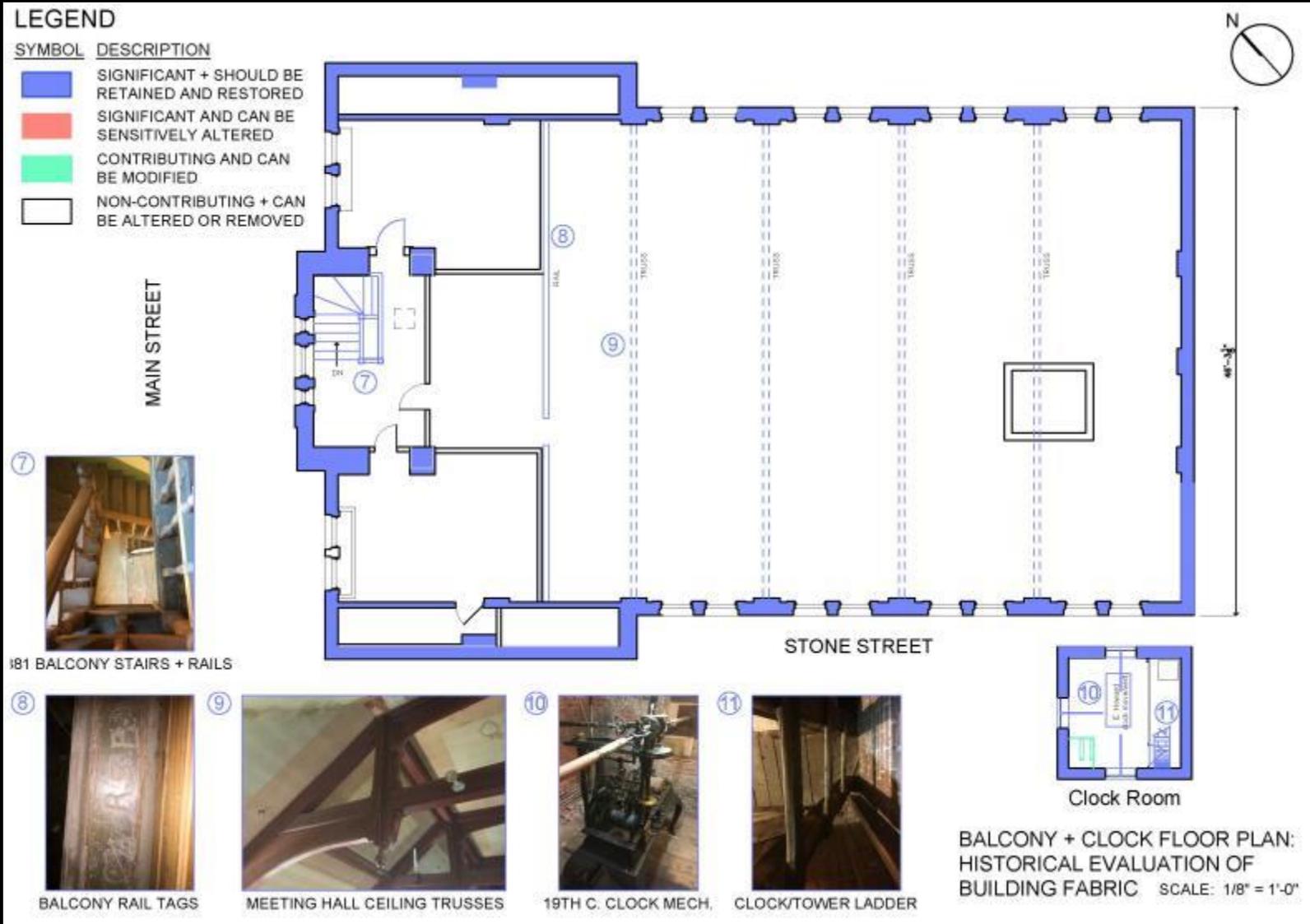
1881 STAIRS TO HALL + BALCONY

SECOND FLOOR PLAN:
HISTORICAL EVALUATION
OF BUILDING FABRIC

SCALE: 1/8" = 1'-0"



Existing Historic Fabric: Balcony + Clock Floors



Preservation Approach: Based on Assessment

1. The Town Hall's exterior has to a large extent remained unchanged.
2. It is primarily the interior that documents the changes made after 1881. The alterations from the 1950's to the present do tell individual stories but do not contribute to any recollection of the original interior. It is more desirous to return the building interior to its original spatial configuration and restore its volumetric grandness and potential for reuse. The story of the Town Hall would be lost and so would its integrity if these alterations from the 1950's to the present remain.
3. Remaining historic elements and finishes from the original construction in 1881 to the early 1900's should have priority for preservation. Unaltered/original interior finishes should be preserved or restored.



CONCEPTUAL DESIGN - SCHEME 1

GROUND FLOOR PLAN

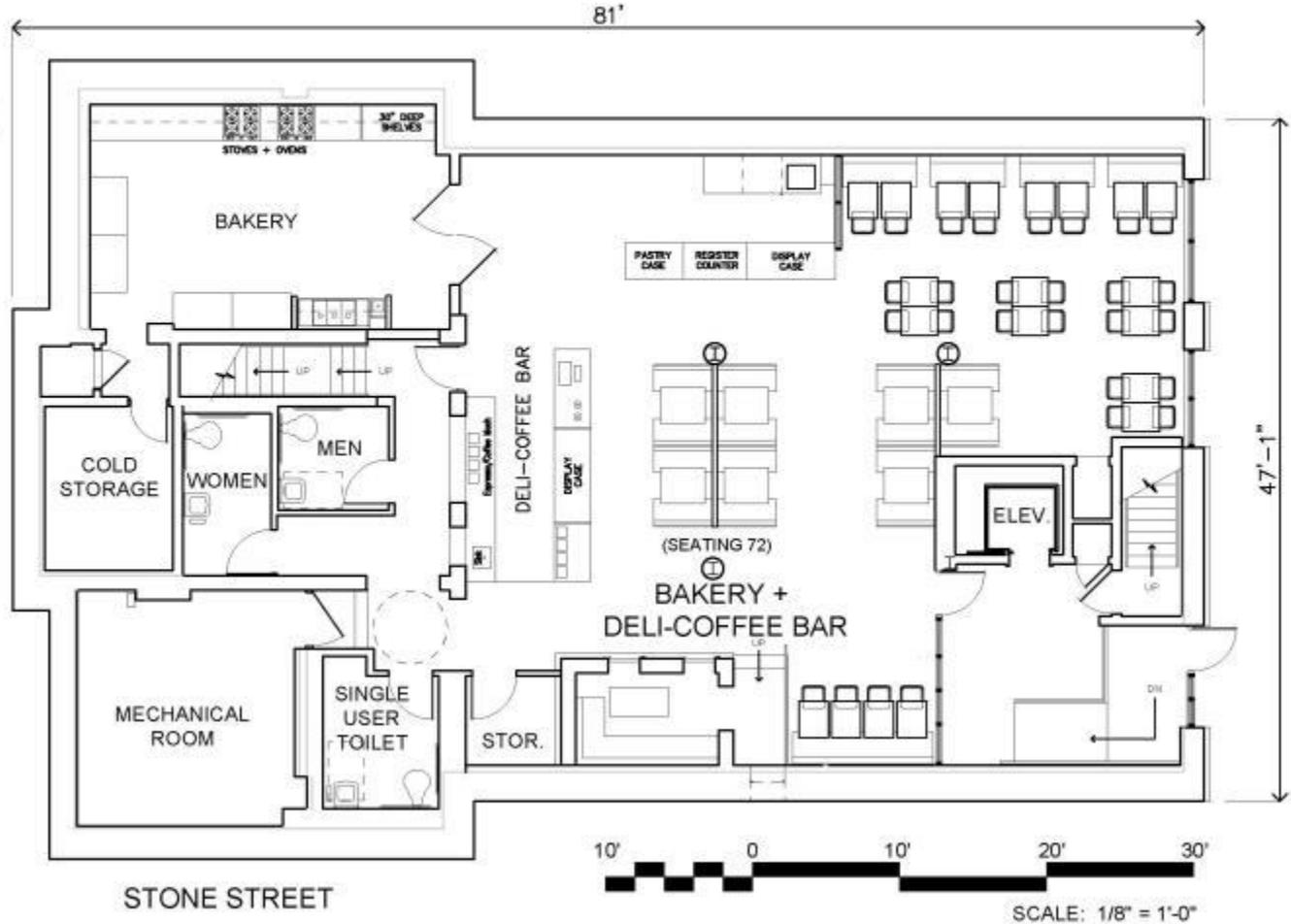
FLOOR AREAS

GROUND FLOOR: 3,981 GSF

BAKERY / DELI: 1,870 GSF

SEATING: 72 PERSONS

MAIN STREET



CONCEPTUAL DESIGN - SCHEME 1

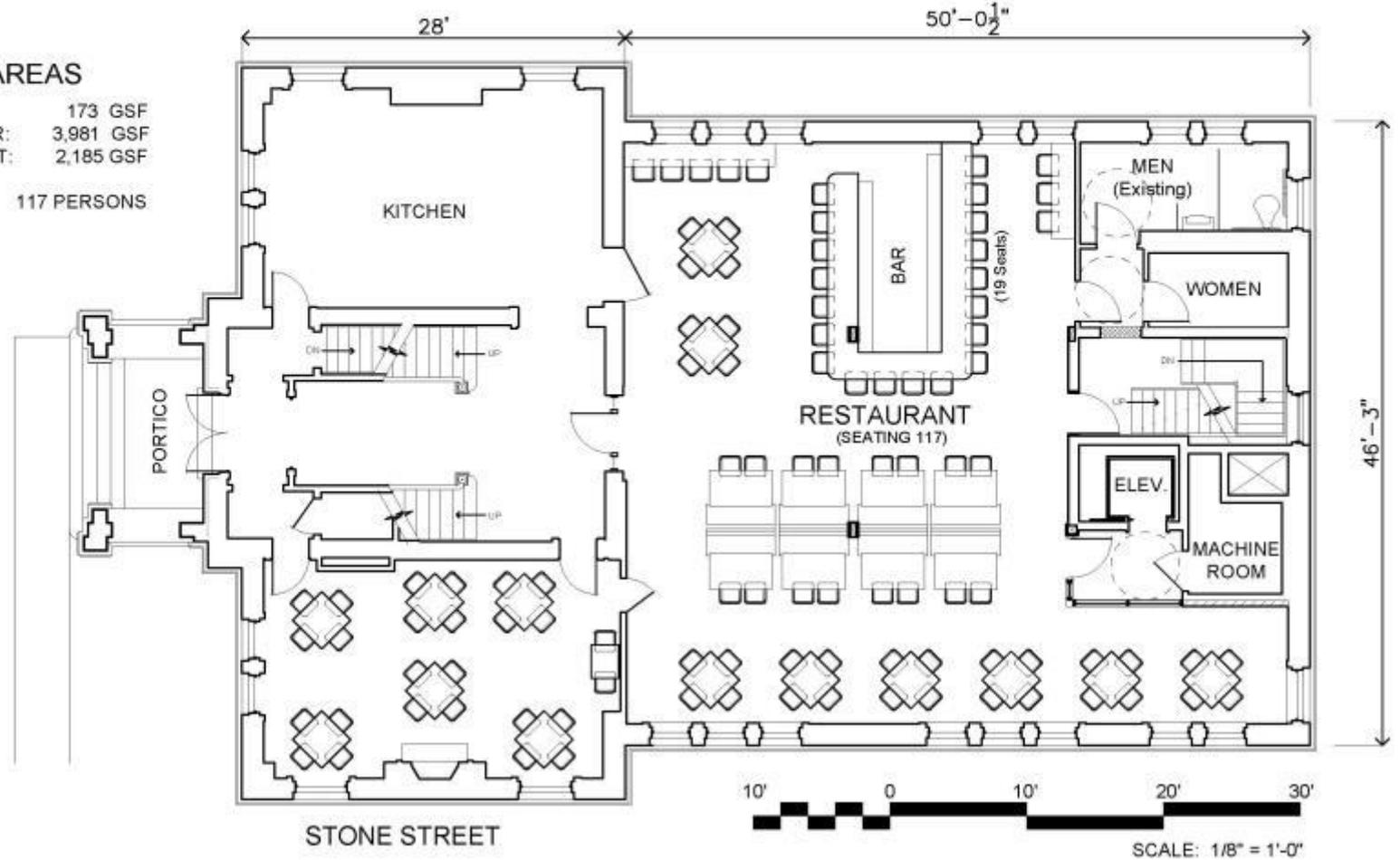
FIRST FLOOR PLAN

FLOOR AREAS

PORTICO: 173 GSF
 FIRST FLOOR: 3,981 GSF
 RESTAURANT: 2,185 GSF

SEATING: 117 PERSONS

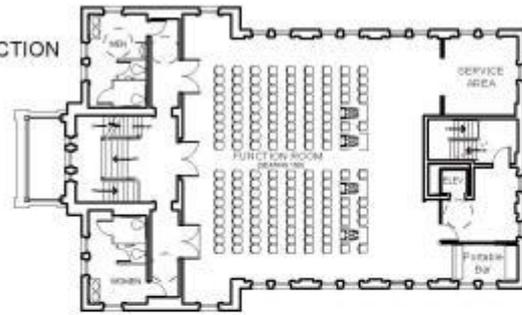
MAIN STREET



CONCEPTUAL DESIGN - SCHEME 1

SECOND FLOOR PLAN

ALTERNATE FUNCTION ROOM SCHEME

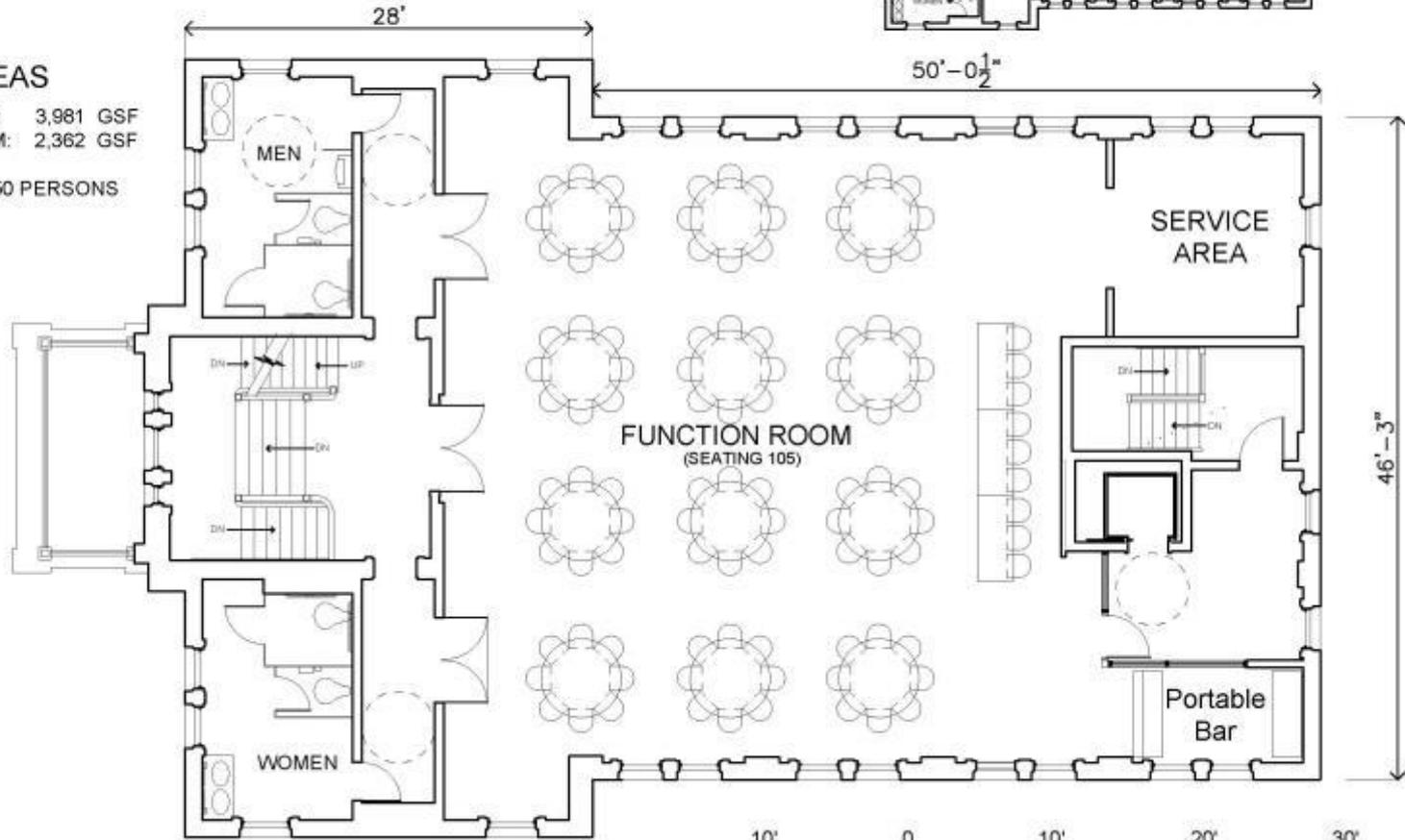


FLOOR AREAS

SECOND FLOOR: 3,981 GSF
 FUNCTION ROOM: 2,362 GSF

SEATING: 105-150 PERSONS

MAIN STREET



STONE STREET



SCALE: 1/8" = 1'-0"



CONCEPTUAL DESIGN - SCHEME 1

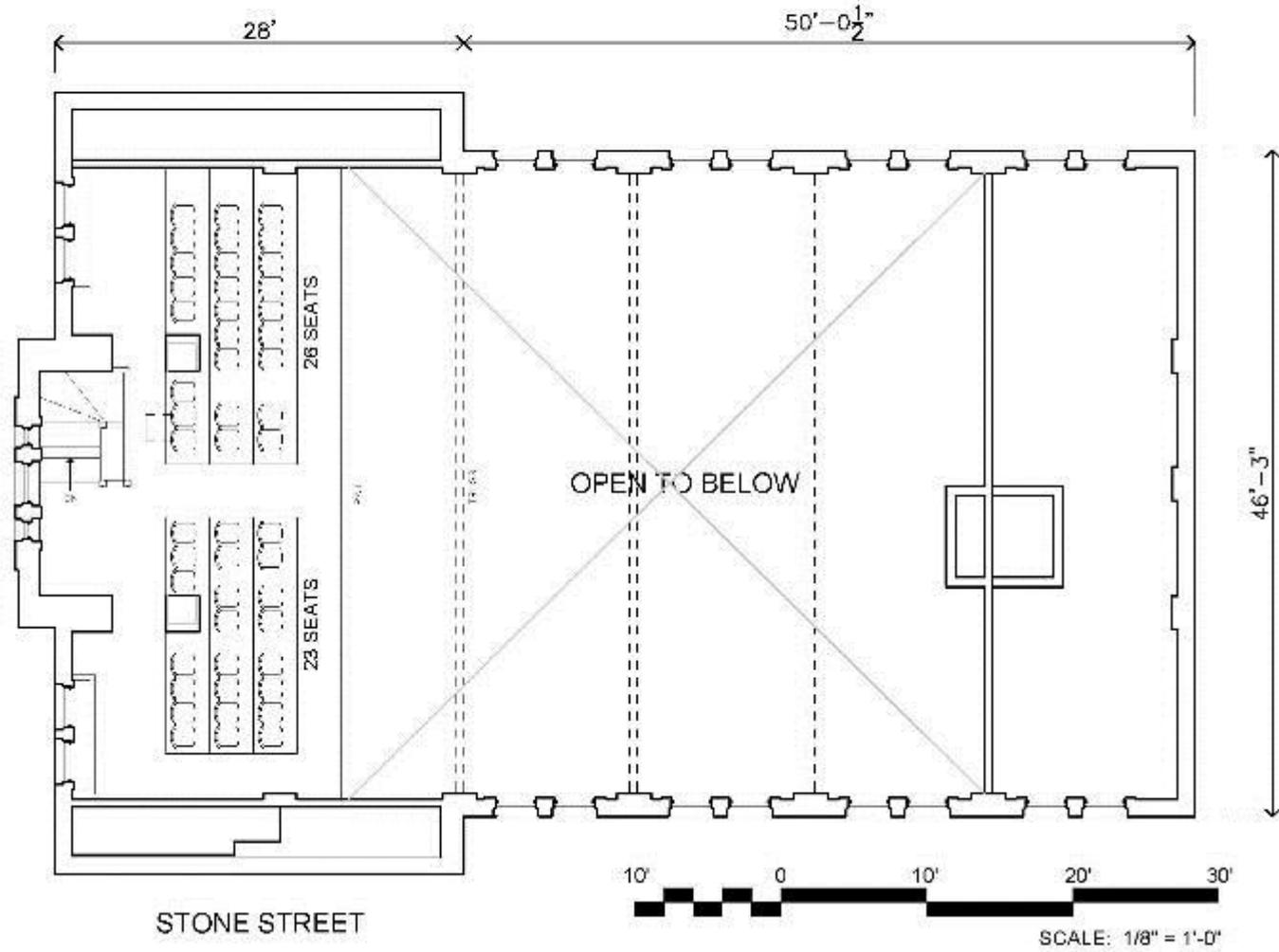
BALCONY FLOOR PLAN

FLOOR AREAS

BALCONY: 1,145 GSF

SEATING: 49 PERSONS

MAIN STREET



Reuse: Scheme 1 - Summary

Scheme 1 retains the existing masonry walled stair and elevator core on all the floors. It also retains the existing first floor bathrooms. While the reuse of the cmu enclosed stairs and elevator save initial startup costs, the layout severely limits the useful square footage of all floor areas.

The probable cost for the Scheme 1 renovations (excluding furniture and equipment) is \$5,530,963.



MAIN STREET

PROPERTY LINE

PROPERTY LINE

FRONT YARD SETBACK

25'

28'-7 1/2"

24'

MECHANICAL

MEN

WOMEN

J.C.

ELEV.

KITCHEN

COLD STOR.

DRY STORAGE

BAR

PUB

MECHANICAL ROOM

OFFICE

BOOTH

ENTRANCE

POTENTIAL AREA FOR ADDITION

FIRE STATION

STONE STREET

CONCEPTUAL DESIGN - SCHEME 2 SITE PLAN

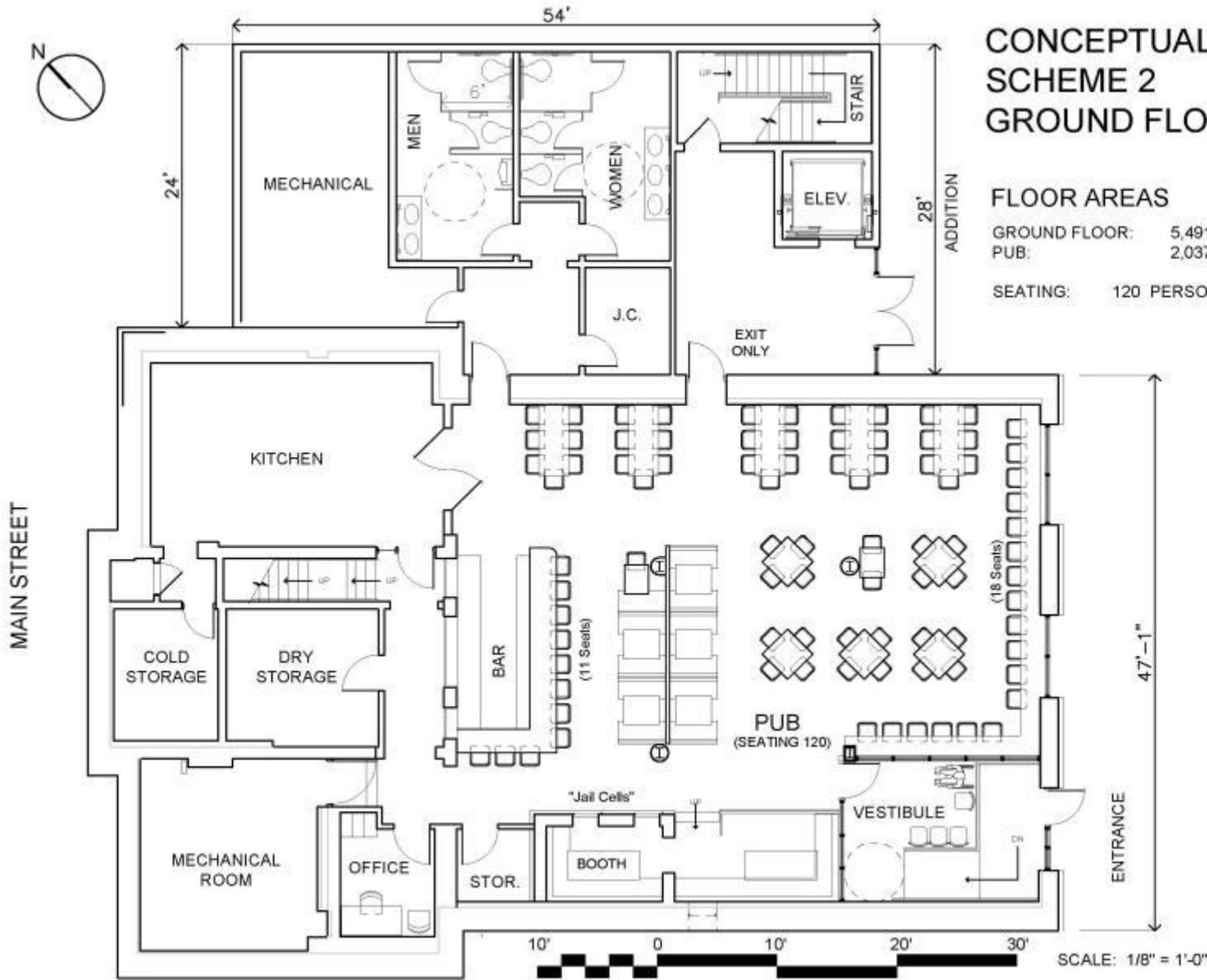
SCALE: 1/16" = 1'-0"



CONCEPTUAL DESIGN -
SCHEME 2
GROUND FLOOR PLAN

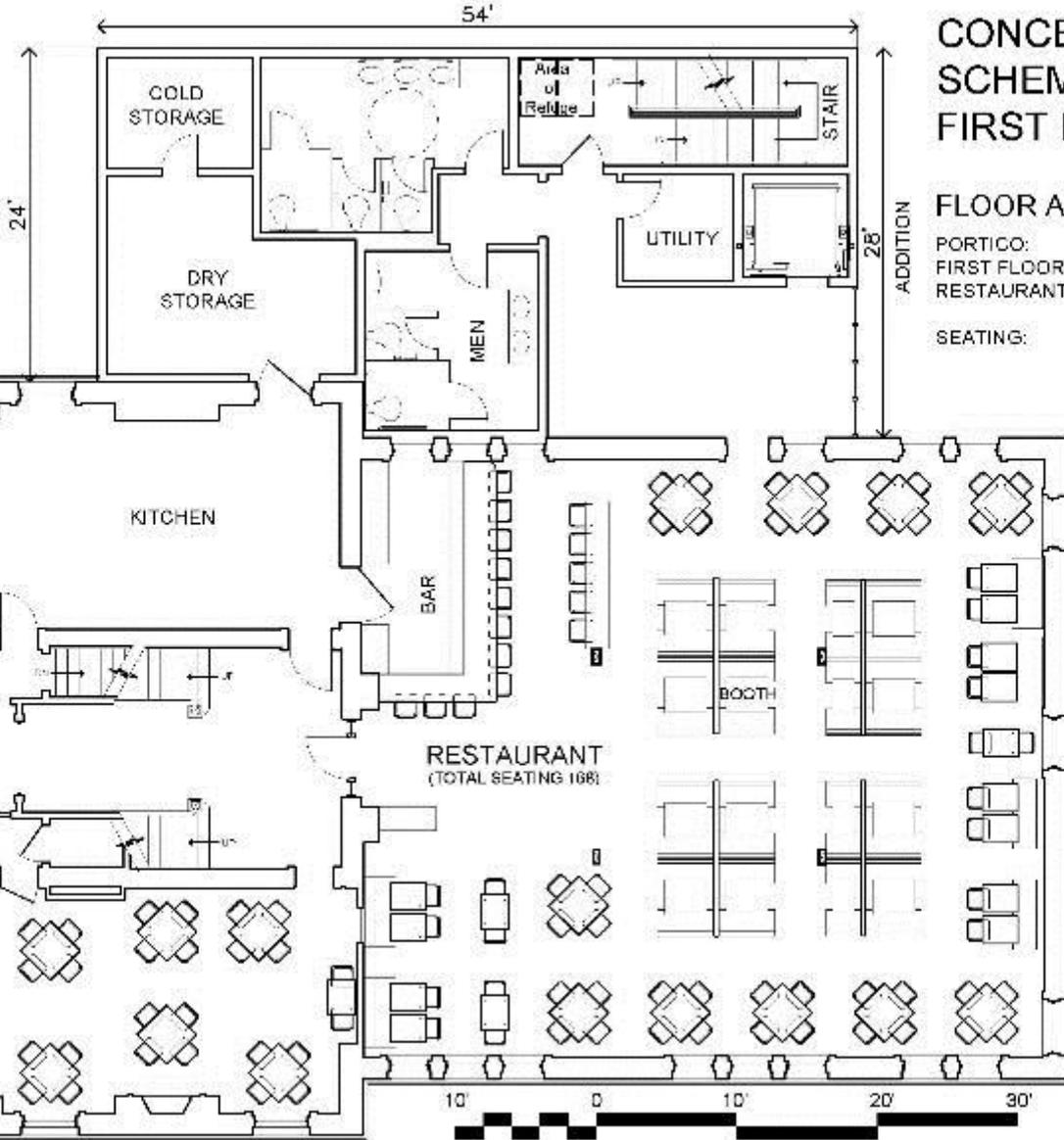
FLOOR AREAS

GROUND FLOOR: 5,491 GSF
 PUB: 2,037 GSF
 SEATING: 120 PERSONS





MAIN STREET



CONCEPTUAL DESIGN - SCHEME 2 FIRST FLOOR PLAN

FLOOR AREAS

PORTICO:	173 GSF
FIRST FLOOR:	5,323 GSF
RESTAURANT:	2,811 GSF
SEATING:	168 PERSONS

SCALE: 1/8" = 1'-0"



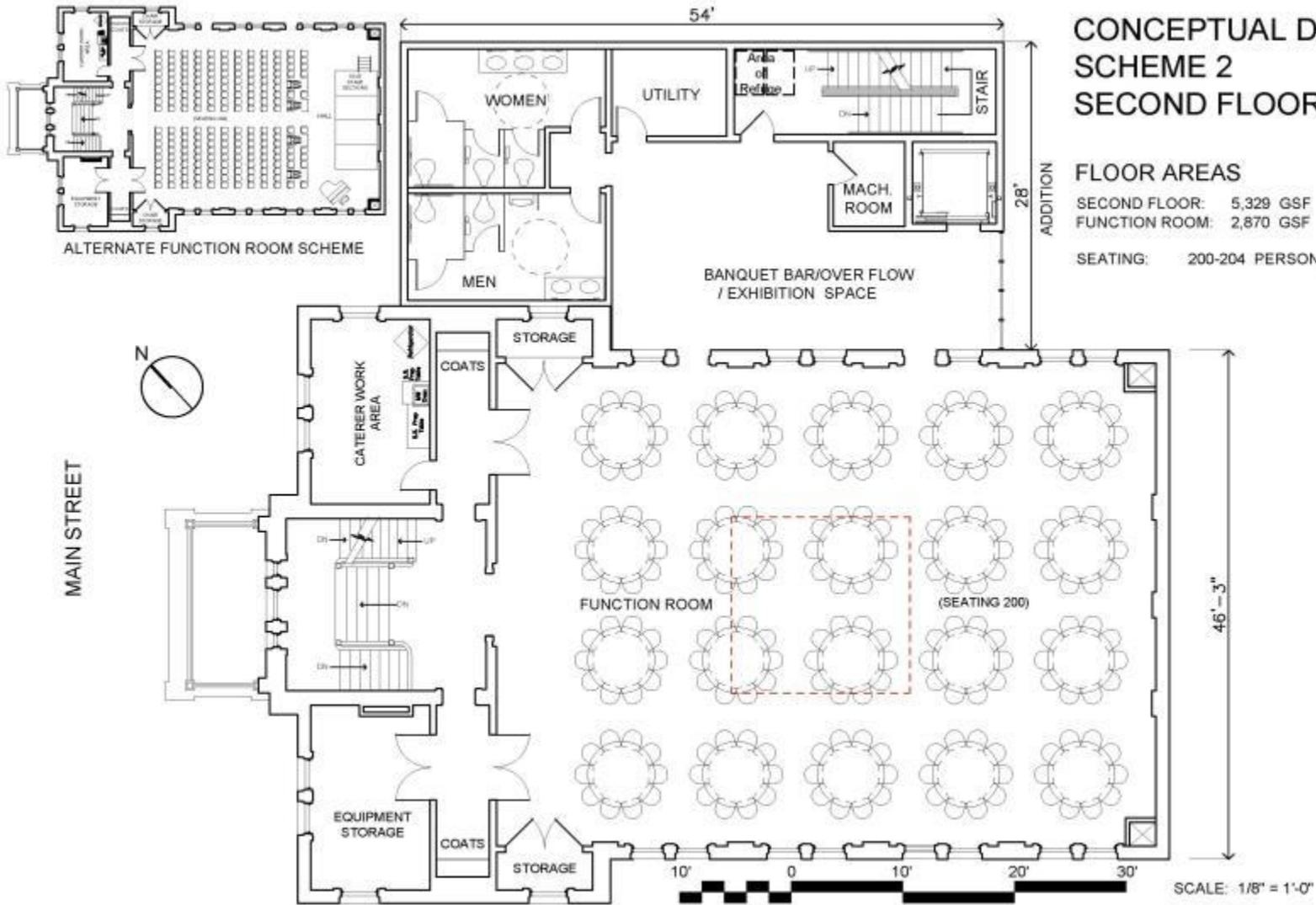
CONCEPTUAL DESIGN - SCHEME 2 SECOND FLOOR PLAN

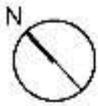
FLOOR AREAS

SECOND FLOOR: 5,329 GSF

FUNCTION ROOM: 2,870 GSF

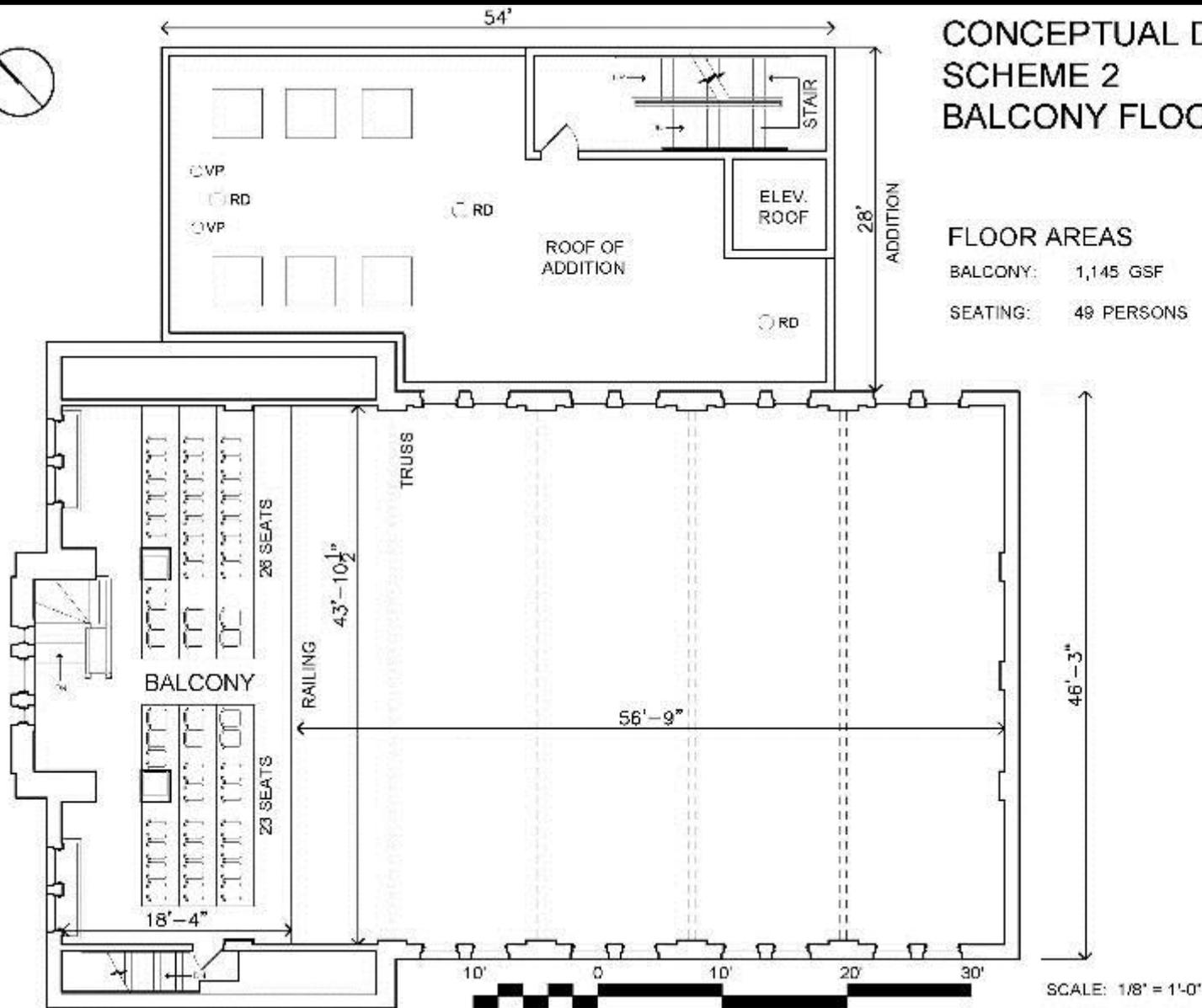
SEATING: 200-204 PERSONS





CONCEPTUAL DESIGN - SCHEME 2 BALCONY FLOOR PLAN

MAIN STREET



FLOOR AREAS

BALCONY: 1,145 GSF
SEATING: 49 PERSONS



Reuse: Scheme 2 - Summary

Scheme 2 removes all mid and late 20th century office walls (bearing walls and columns remain) and ceilings in order to open up the space. An approximately 28' x 54' addition is added to the north side of the building. This addition will increase the useable space within the existing building by accommodating the elevator, exit stairs, bathrooms, utility spaces and other support rooms. This scheme relocates the diesel fueling station to another part of the Town property near the Fire Station.

The probable cost for the Scheme 2 renovations (excluding furniture and equipment) is \$7,814,945.



Final Thoughts

- The Old Town Hall is an historic civic symbol of the Town's growth and development from the days of a "saw mill" town with cold and drafty town gatherings at the Meetinghouse to an economic rise into the twentieth century due to the Neponset River and the associated industry along its banks.
- The town's money was well invested back in the 1880's. The structure is in good condition and adaptable to modern uses. Maintenance repairs to all buildings are a necessary component of ownership and in historic buildings require a commitment to stewardship.
- The OTH needs capital improvements to the base building for essential repairs and to stimulate interest in revitalizing the property.



➤ Re-Use Options

The Committee had to determine which of the proposed uses,

- ***Were Physically, Financially and Operationally Feasible,***
- ***While serving as the catalyst for the redevelopment of Walpole's downtown into a vibrant community space.***



Uses which generated the most interest included,

- ***Performing & Visual Arts Center***
- ***Academy of Music***
- ***Business Incubator/Education***
- ***The Walpole Museum / “Walpole Town House”***
- ***Restaurant & Function Facility (the Bird Café)***
- ***Meeting & Office Space***



The Committee concluded that the uses that would be the most ***financially and operationally feasible***, and also ***generate the most customer traffic*** include,

- ***Restaurant***
- ***Brew Pub / Winery***
- ***Test Kitchen***
- ***Specialty Foods Emporium***
- ***Function Facility /Performance Space***



➤ Funding Sources

- *Community Block Grants*
- *Historic Preservation Tax Credits*
- *FY2019 budget item \$75,000 for renovation of the Old Town Hall*
- *MA HB4732 -\$1,000,000 Grant for Historic Presv.*
- *Capital Lease Financing*
- *Tax Incremental Financing (TIF)*
- *JV Development Partnerships*



➤ **Disposition Options**

Given its historic, cultural and architectural significance, and being Walpole's most recognized landmark, as well as its intent to achieve its stated objectives,

the question the Committee most grappled with was,

What is in Town's Best Interest?



➤ **Disposition Options**

- *Retain Ownership and Assume Total Responsibility*
- *Joint Venture w/ Private Developer*
- *Master Lease*
- *Sale/Leaseback - Using Capital Lease Financing Model*
- *Sell – With Deed Restrictions*



➤ Conclusions & Recommendations

The Walpole Town House will need the attention and support of many.

The Committee recommends that the Board of Selectmen establish an official organization to be named “***The Friends of The Walpole Town House.***”

Members would be Walpole residents and would serve in the capacity of Trustees.

And...



As voted at its May 23rd meeting, the Committee'

*“Recommend to the Board of Selectmen that the next course of action to be undertaken would be a **Request for Proposal** to be issued in order to expose Old Town Hall to the widest possible audience in hopes of attracting parties to come forward with potential uses and funding options needed to reactivate the building in the most advantageous way for the Walpole Town House and the People of Walpole.”*

